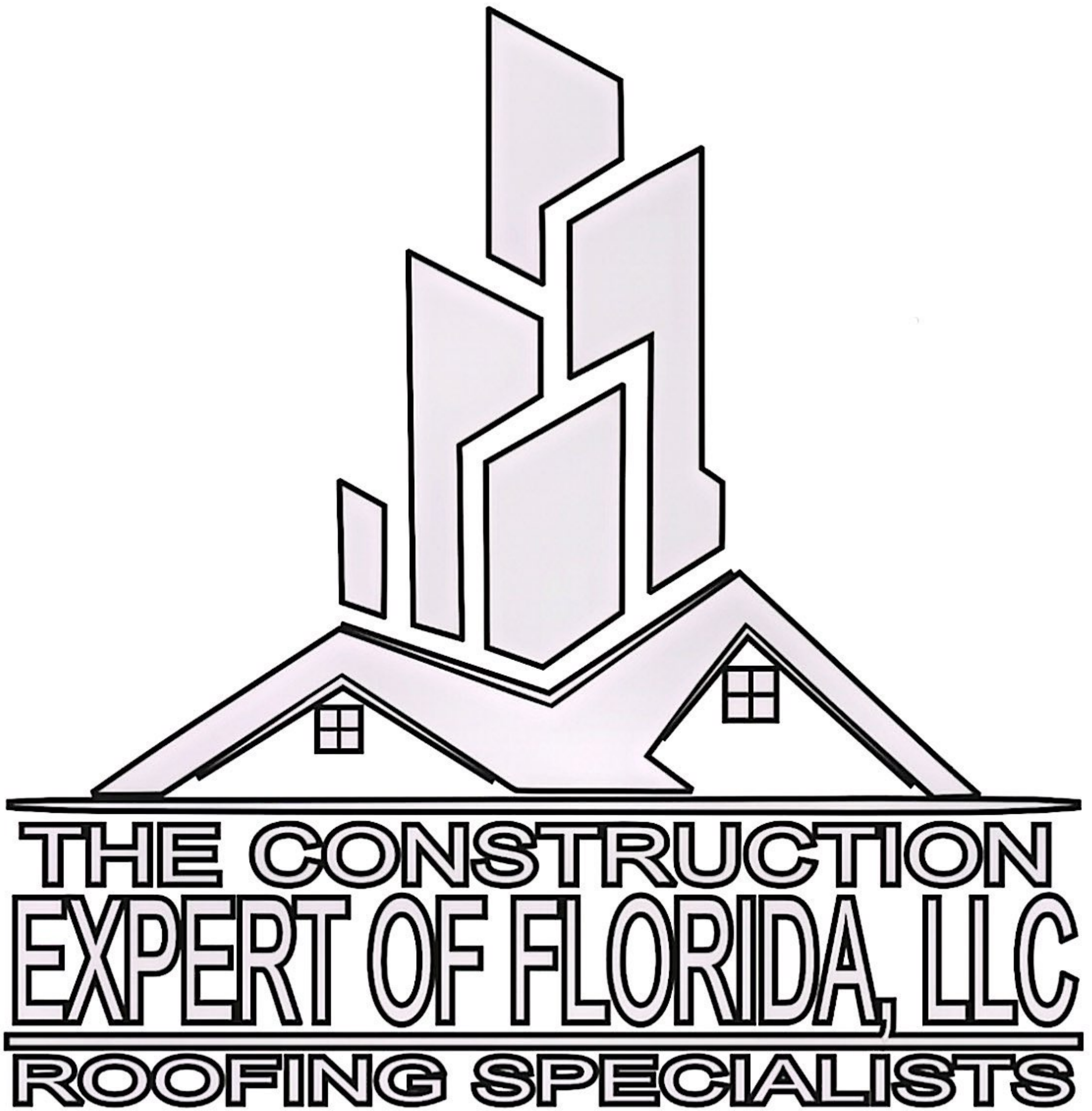




Roof Proposal Prepared for:

Sonoma Bay
3600 Sonoma Dr. West Palm Beach, FL 33404

Project Name: Sonoma Bay – Tile Roof Replacement
Project Location: 3600 Sonoma Dr. West Palm Beach, FL



Roof Summary: Clay S Style Tile Roof Replacement

All surfaces must be inspected by a TCE, LLC Representative prior to application to ensure warranty can be issued. The TCE, LLC Representative will do an onsite Pre-inspection, in progress inspection, and post completion inspection.

Scope of Work:

- Roof system will be torn off to the decking.
- Install ASTM D 226 Type II underlayment, Ice & Water Shield over decking
- Examine, replace, and re-nail sheathing where necessary
- Remove and replace gutter apron along eaves and rakes
- Identify and replace compromised flashings
- Bird Stop eave closure strips
- Ridge, hip, and rake cap tile
- 3-N-1 pipe boots
- Install Clay S-Tile Roofing system
- Coordinate placement and removal of dumpsters for debris management
- Thorough cleanup of all work-related debris
- Arrange specialized machinery and qualified operators where required

Exclusions: TCE, LLC and will **NOT** provide labor or materials for the following

- | | |
|----------------|--|
| • Decking | • Fascia and Soffits |
| • Framing Work | • Caulking/Sealants and painting |
| • Gutters | • Insulation – including Foam Insulation |

TCE, LLC is **NOT** responsible for the protection of pre-existing windows and/or window frames.

Insurance Specifications:

Construction Expert Florida carries \$1,000,000 coverage for general liability, commercial auto, and workers comp and \$2,000,000 in umbrella coverage.

Costs and Terms of Payments:

A 40% deposit of will be collected at the beginning of the project and 30% half-way through, then remaining amount will be collected at the conclusion of the project after final inspection and walk-through has been conducted with the property manager or portfolio manager.

Material Management:

Materials will be delivered 1-2 days prior to scheduled installation and coordinated with dry weather conditions.

Roof Production Plan:

Consistent communication between the roofing site supervisor and the community faculty is an absolute necessity to ensure a smooth project. Debris will be hauled away using a contractor provided dump trailer. Tarps will be laid out on the ground to collect nails, felt paper and other construction trash. Debris will be kept clear of walkways and resident doorways. Clean up will be ongoing with debris picked up by the end of each day.

Contingency Planning:

Here are contingency plans for various potential scenarios while roofing the project:

1. Roofing nail in tires

Construction Expert FL will consistently magnet and clean up nails and debris around the active jobsite. A work zone will be cordoned to allow for trailers to move on and off the property area and keep car tires away from the path of potential debris.

2. Torn window screens

Construction Expert FL will be responsible for patching/or replacing damaged window screens caused from falling roofing debris.

3. Pedestrian tripping over staged materials

Construction Expert FL will stage materials from frequented pedestrian walkways.

4. Debris on walkways and entryways

Crews will make it a priority to remove debris blocking walkways and entryways.

5. AC Unit protection

Plywood covers will be custom cut on site and placed on top of AC units as needed.

Safety:

Construction Expert FL prides itself in its strong safety record. Our crews follow industry standard practices with the utilization of rubber soled shoes, keeping the roof deck clear of loose granules, and using designated roofing debris throw off points. A designated-on staff safety officer ensures adherence to safe practices.

For any emergency injuries, the designated emergency facility will be the closest one to this work site. In a medical emergency event, the project manager will be notified. The project manager will notify the onsite staff of the extent of the injury and the actions taken.

TERMS AND CONDITIONS

All work is to be completed in a workmanlike manner according to standard practices. *Any change or deviation from the scope of work identified herein that results in additional cost to Contractor will be charged to the Customer as a cost that is separate from and in addition to the quoted price.* If there are any persons or materials, other than Contractor's employee(s) or the materials supplied by Contractor to perform Contractor's scope of work, on the roof during the project or after the Contractor has completed its work, then any warranty issued by

Contractor to Customer for the project will immediately become null and void without exception. The Contract Documents consist of this Proposal/Contract, Terms and Conditions and all documents referenced therein, Statutory Warnings, Work Authorization Agreement (if applicable), and limited workmanship warranty (if any), which are all incorporated herein by reference. Customer agrees that his or her signature to any one of the Contract Documents constitutes his or her receipt and acceptance of all of the Contract Documents and agrees to be bound by the terms of same. Customer may request from Contractor at any time a copy of any document a part of the Contract Documents

I HAVE READ AND UNDERSTAND THIS PROPOSAL, THE TERMS AND CONDITIONS, AND ALL APPLICABLE CONTRACT DOCUMENTS AND AGREE TO BE BOUND BY THEIR TERMS.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. Contractor is authorized to do the work as specified. By signing below, Customer acknowledges that Customer is the owner (or authorized agent of the owner) of the property where the work is to be performed.

CUSTOMER'S RIGHT TO CANCEL: If for whatever reason you do not want the goods or services, you may cancel this agreement by providing written notice to the Contractor in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third (3) business day after you sign this agreement. If you cancel this agreement, Contractor may not keep all or part of any cash down payment.

Payments as follows 40% upon startup of project, 30% at 50% completion and 30% upon project completion.

Contact:

Matt Allen

Project Manager

561-708-0005

theconstructionexpertf@gmail.com

mattallen5955@gmail.com

TOTAL COST \$2,987,000.00

Customer Signature_____

TCE,LLC Rep_____

Customer Name Printed_____

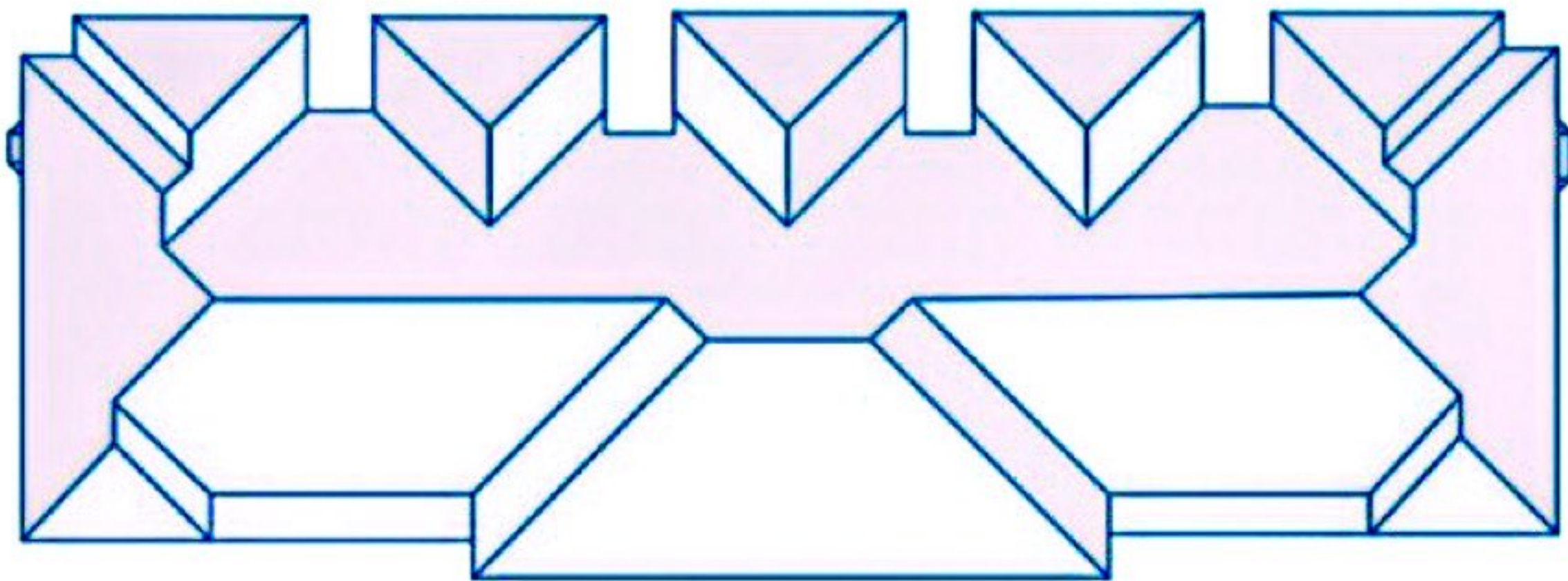
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Date_____

Date_____

Report summary

3609 Sonoma Drive, Riviera Beach, FL 33404



5 buildings and the cost is \$630k

Measurements

Total roof area	12859 sqft
Total pitched area	12859 sqft
Total flat area	0 sqft
Total roof facets	37 facets
Predominant pitch	5/12
Total eaves	715ft 6in
Total valleys	319ft 4in
Total hips	501ft 10in
Total ridges	195ft 2in
Total rakes	13ft 2in
Total wall flashing	78ft 6in
Total step flashing	42ft 2in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	697ft 0in
Eaves + rakes	728ft 8in

Pitch	5/12
Area (sqft)	12,860
Squares	128.6

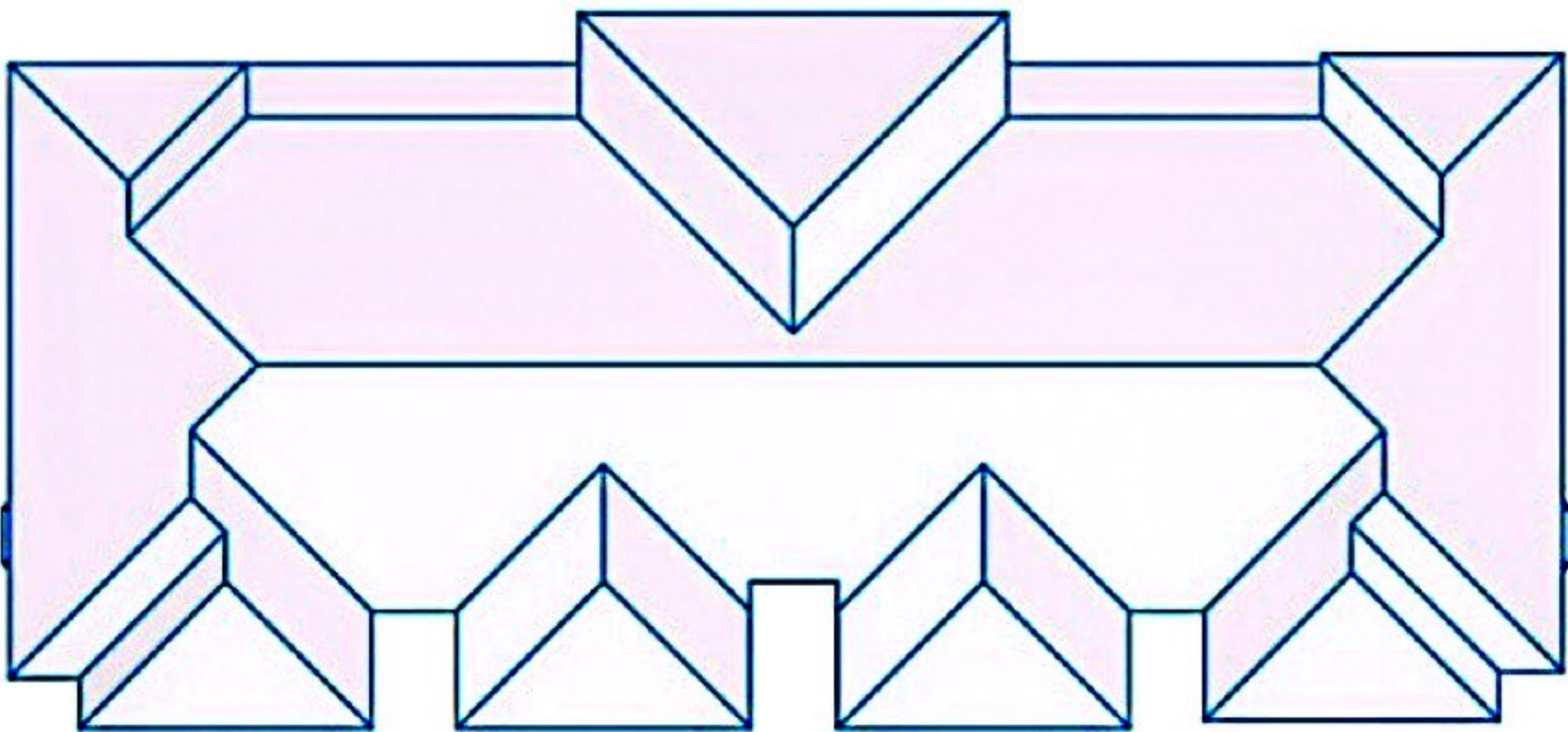
Recommended

Waste %	0%	9%	10%	12%	15%	17%	20%
Area (sqft)	12,860	14,017	14,146	14,403	14,789	15,046	15,432
Squares	128.6	140.2	141.5	144.1	147.9	150.5	154.4

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).
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Report summary

3609 Sonoma Drive, Riviera Beach, FL 33404



5 buildings and the cost is \$517k

Measurements

Total roof area	10013 sqft
Total pitched area	10013 sqft
Total flat area	0 sqft
Total roof facets	33 facets
Predominant pitch	5/12
Total eaves	602ft 7in
Total valleys	266ft 7in
Total hips	412ft 5in
Total ridges	164ft 8in
Total rakes	6ft 1in
Total wall flashing	75ft 10in
Total step flashing	33ft 5in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	577ft 1in
Eaves + rakes	608ft 8in

Pitch	5/12
Area (sqft)	10,014
Squares	100.2

Recommended

Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sqft)	10,014	11,015	11,216	11,516	11,716	12,017	12,217
Squares	100.2	110.2	112.2	115.2	117.2	120.2	122.2

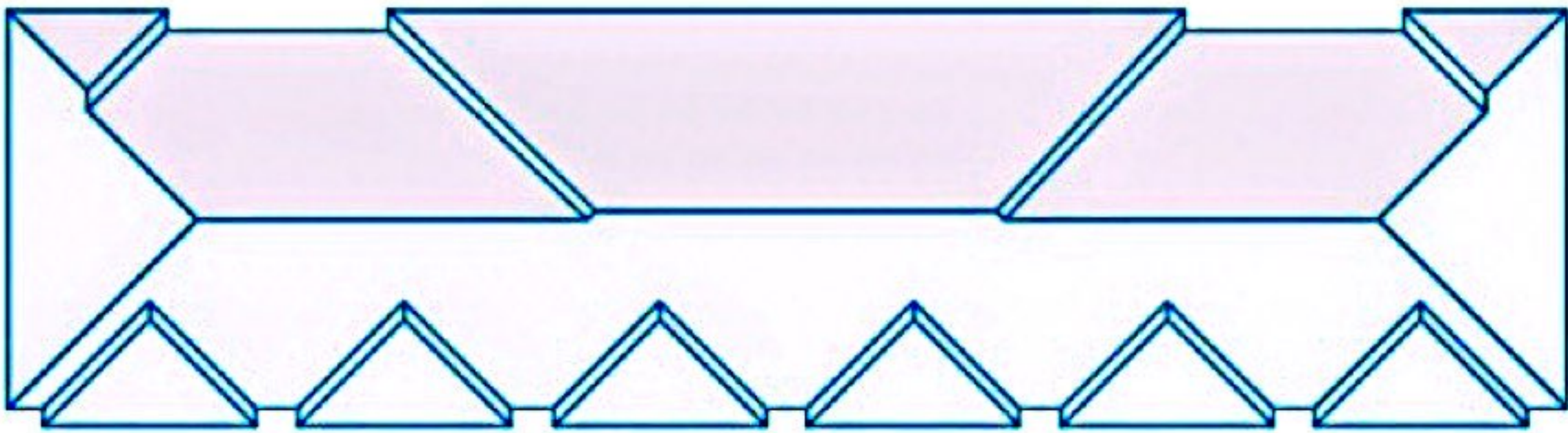
Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).

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Report summary

3609 Sonoma Drive, Riviera Beach, FL 33404



13 buildings and the cost is \$1,296,000.00

Measurements

Total roof area	10319 sqft
Total pitched area	10319 sqft
Total flat area	0 sqft
Total roof facets	30 facets
Predominant pitch	5/12
Total eaves	514ft 9in
Total valleys	328ft 1in
Total hips	471ft 4in
Total ridges	160ft 2in
Total rakes	0ft 0in
Total wall flashing	0ft 0in
Total step flashing	0ft 0in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	631ft 6in
Eaves + rakes	514ft 9in

Pitch	5/12
Area (sqft)	10,320
Squares	103.2

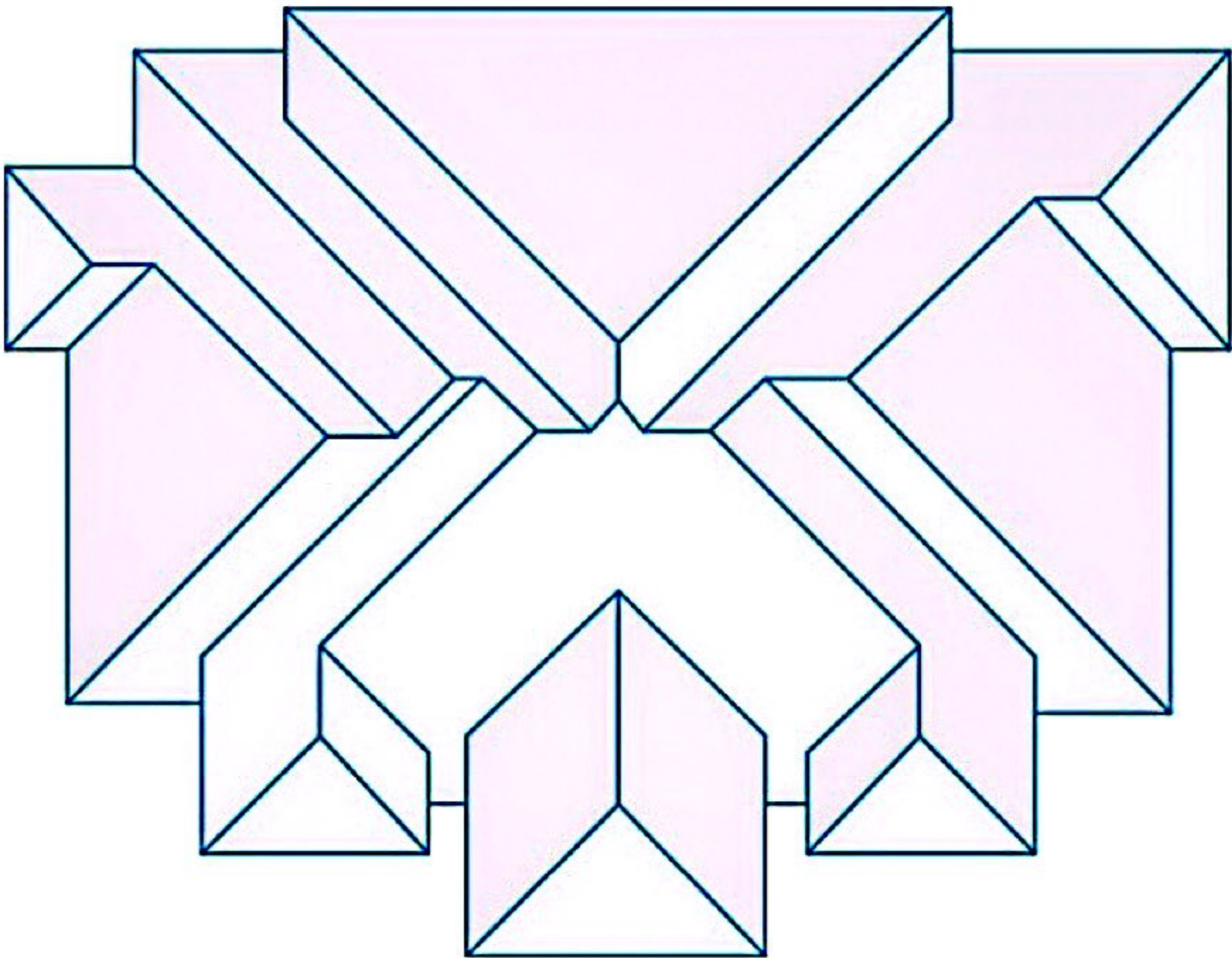
Recommended

Waste %	0%	10%	11%	12%	15%	17%	20%
Area (sqft)	10,320	11,352	11,455	11,558	11,868	12,074	12,384
Squares	103.2	113.6	114.6	115.6	118.7	120.8	123.9

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).
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Report summary

3609 Sonoma Drive, Riviera Beach, FL 33404



Club house 1 building and the cost is \$39k

Measurements

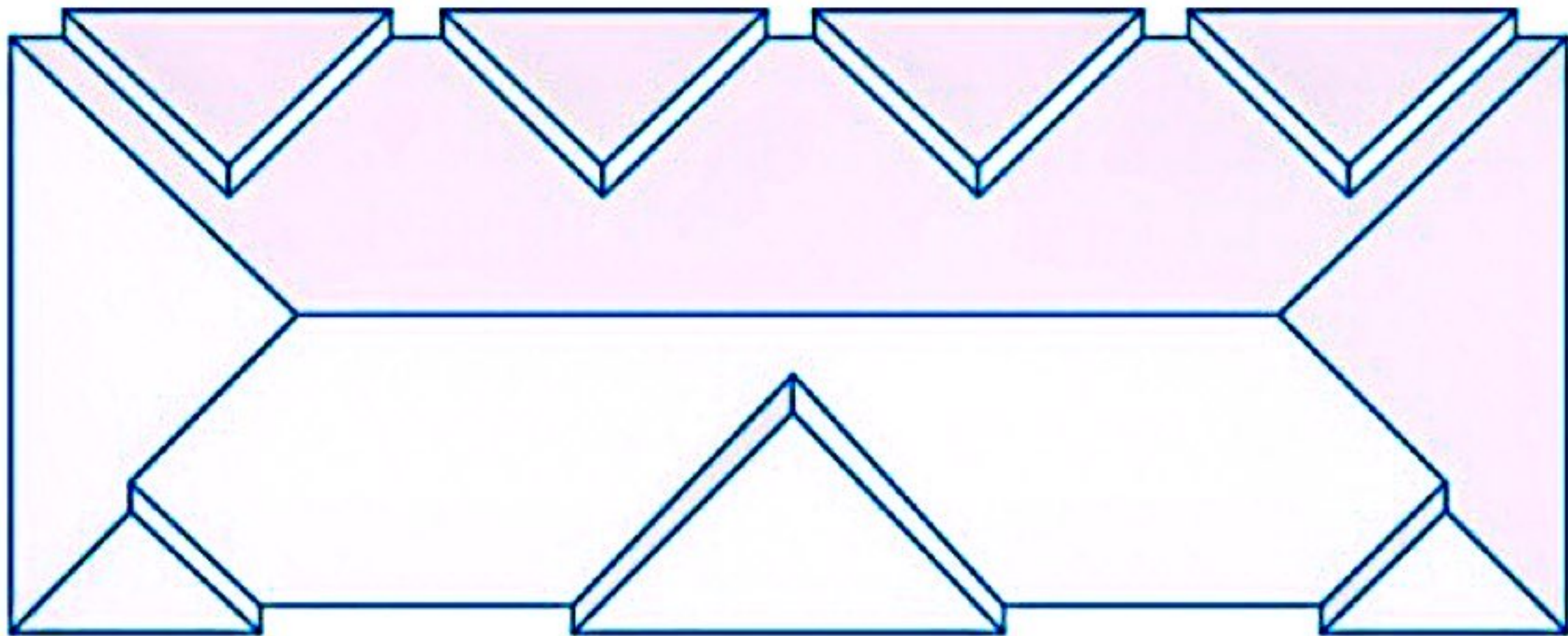
Total roof area	4875 sqft
Total pitched area	4875 sqft
Total flat area	0 sqft
Total roof facets	25 facets
Predominant pitch	5/12
Total eaves	359ft 9in
Total valleys	223ft 1in
Total hips	390ft 6in
Total ridges	60ft 9in
Total rakes	0ft 0in
Total wall flashing	11ft 7in
Total step flashing	35ft 10in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	223ft 4in
Hips + ridges	451ft 3in
Eaves + rakes	359ft 9in

Report summary

3609 Sonoma Drive, Riviera Beach, FL 33404

Measurements

Total roof area	7007 sqft
Total pitched area	7007 sqft
Total flat area	0 sqft
Total roof facets	23 facets
Predominant pitch	5/12
Total eaves	382ft 8in
Total valleys	242ft 2in
Total hips	378ft 9in
Total ridges	98ft 10in
Total rakes	0ft 0in
Total wall flashing	0ft 0in
Total step flashing	0ft 0in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	477ft 6in
Eaves + rakes	382ft 8in



2 buildings and the cost is \$145k

Pitch	5/12
Area (sqft)	7,007
Squares	70.1

Recommended

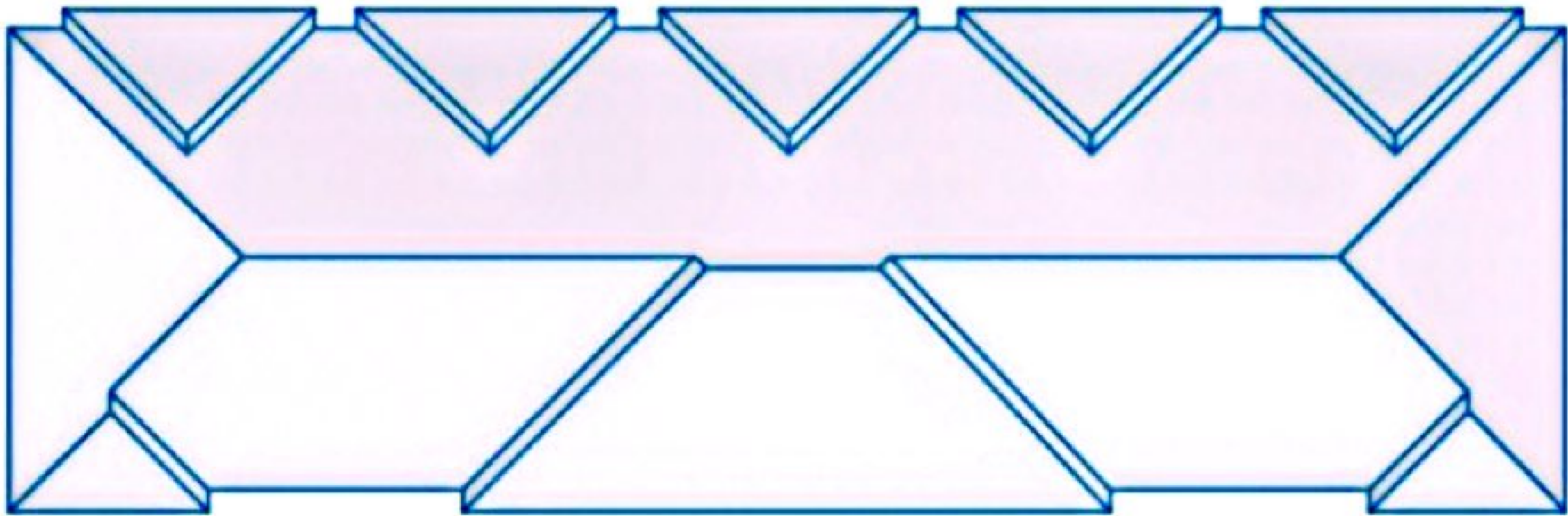
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sqft)	7,007	7,708	7,848	8,058	8,198	8,408	8,549
Squares	70.1	77.1	78.5	80.6	82.0	84.1	85.5

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).

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Structure #1 summary

3609 Sonoma Drive, Riviera Beach, FL 33404



4 buildings and the cost is \$360k

Measurements

Total roof area	8757 sqft
Total pitched area	8757 sqft
Total flat area	0 sqft
Total roof facets	27 facets
Predominant pitch	5/12
Total eaves	446ft 11in
Total valleys	291ft 5in
Total hips	439ft 2in
Total ridges	123ft 4in
Total rakes	0ft 0in
Total wall flashing	0ft 0in
Total step flashing	0ft 0in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	562ft 6in
Eaves + rakes	446ft 11in

Pitch	5/12
Area (sqft)	8,757
Squares	87.6

Recommended

Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sqft)	8,757	9,633	9,808	10,071	10,246	10,509	10,684
Squares	87.6	96.4	98.1	100.8	102.5	105.1	106.9

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).
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